



**AGENDA FOR THE REGULAR MEETING OF THE
BRENTWOOD BOARD OF ZONING APPEALS
Monday, June 19, 2023 -- 5:30 PM
BRENTWOOD CITY HALL**

Call to Order
Roll Call
Pledge of Allegiance to the Flag

Approval or Correction of Minutes

1. Meeting Minutes -- May 15, 2023

Regular Agenda

1. **BZA2305-001 Accessory Structure Request - Whetstone Subdivision, Phase 1,
Lot 16, 9401 Weymouth Road, Zoning OSRD - Applicant: Woodridge Homes LLC**

Allison Roberts

*Allison Roberts
Planner*

Anyone requesting accommodations due to disabilities should contact April Curlin, ADA Coordinator, before the meeting at 615-371-0060.

BZA

1.

Meeting Date: 06/19/2023

Information

PROJECT NUMBER

Meeting Minutes -- May 15, 2023

PROJECT DESCRIPTION

ZONING OF PROPERTY

APPLICANT NAME/ADDRESS

Attachments

Meeting Minutes - May 15, 2023

DRAFT

MINUTES OF MEETING OF BRENTWOOD BOARD OF ZONING APPEALS

BRENTWOOD, TENNESSEE

The Brentwood Board of Zoning Appeals met on Monday, May 15, 2023 at 7:00 pm at Brentwood City Hall.

Present: Eric Hauch; Todd Lockhart; David Carden; Lisa Rothman; Todd Spillane

Staff Present: Bob Leeman, Todd Petrowski, Allison Roberts

Approval or Correction of Minutes

March 20, 2023

Moved by David Carden for approval of the minutes as written, seconded by Eric Hauch

Vote: 5 - 0 Approved - Unanimously

Regular Agenda

BZA2303-001 Accessory Structure Request - Cross Pointe Subdivision, Lot 8, 9008 Pointe Cross Lane - Zoning R-2 - Applicant: TLP Ventures

TLP Ventures requested approval of a 605 square foot detached structure to be constructed in the rear buildable area of the lot. The structure will be constructed of brick and stone to match the existing house with wood accents. The stone accents are on the front of the house. It will have a shingle roof and be approximately 17 feet tall. The height of the house is approximately 30 feet tall.

The department recommended that the following 4 requirements be attached to the approval of the request:

1. Except on parcels of three or more acres in size, no accessory building shall be designed and/or used for living or sleeping quarters. If proposed, this would require a separate BZA review and approval.
2. Accessory structures cannot be used for home occupation/commercial purposes.
3. Complete plans shall be submitted for review, approval, and issuance of a building permit.
4. Any changes to the building or site plans will require staff review and re-approval from the Board of Zoning Appeals prior to issuance of a building permit.

Staff recommended approval of the detached accessory structure, as we find that it meets the

requirements of the Code, including having compatible materials and roof pitches.

Moved by Eric Hauch for approval, seconded by Todd Spillane

Vote: 5 - 0 Approved - Unanimously

**BZA2303-002 Accessory Structure Request - Brentmeade Estates, Section 13,
Lot 254, 9190 Brushboro Drive - Zoning R-2 - Applicant: Birdwell Builders**

Birdwell Builders requested approval of a 475 square foot detached structure to be constructed in the rear buildable area of the lot. The structure will be constructed of fiber cement siding painted to match the trim of the house. The structure will also have brick accents that will match the house. It will have a shingle roof and be approximately 17 feet tall.

The department recommended that the following 4 requirements be attached to the approval of the request:

1. Except on parcels of three or more acres in size, no accessory building shall be designed and/or used for living or sleeping quarters. If proposed, this would require a separate BZA review and approval.
2. Accessory structures cannot be used for home occupation/commercial purposes.
3. Complete plans shall be submitted for review, approval, and issuance of a building permit.
4. Any changes to the building or site plans will require staff review and re-approval from the Board of Zoning Appeals prior to issuance of a building permit.


Staff recommended approval of the detached accessory structure, as we find that it meets the requirements of the Code, including having compatible materials and roof pitches.

Moved by Todd Spillane for approval, seconded by Eric Hauch

Vote: 5 - 0 Approved - Unanimously

With no further business, the meeting adjourned at 5:38 pm.

APPROVED _____


Allison Roberts, City Planner

BZA

1.

Meeting Date: 06/19/2023

Current Zoning: OSRD - OPEN SPACE
RESIDENTIAL
DEVELOPMENT

Information

Subject

**BZA2305-001 Accessory Structure Request - Whetstone Subdivision, Phase 1,
Lot 16, 9401 Weymouth Road, Zoning OSRD - Applicant: Woodridge Homes LLC**

General Information

Woodridge Homes LLC requests approval of a 220 square foot detached structure to be constructed in the rear buildable area of the lot. The structure will be constructed of fiber cement siding painted to match the shake on the front of the house. The structure will also have brick accents that will match the house. It will have a standing seam metal roof to match the metal roofing on the front of the house. It will be approximately 15 feet tall.

Condition of Approval

The department recommends that the following 4 requirements be attached to the approval of the request:

1. Except on parcels of three or more acres in size, no accessory building shall be designed and/or used for living or sleeping quarters. If proposed, this would require a separate BZA review and approval.
2. Accessory structures cannot be used for home occupation/commercial purposes.
3. Complete plans shall be submitted for review, approval, and issuance of a building permit.
4. Any changes to the building or site plans will require staff review and re-approval from the Board of Zoning Appeals prior to issuance of a building permit.

Recommendation

Staff recommends approval of the detached accessory structure, as we find that it meets the requirements of the Code, including having compatible materials and roof pitches.

Attachments

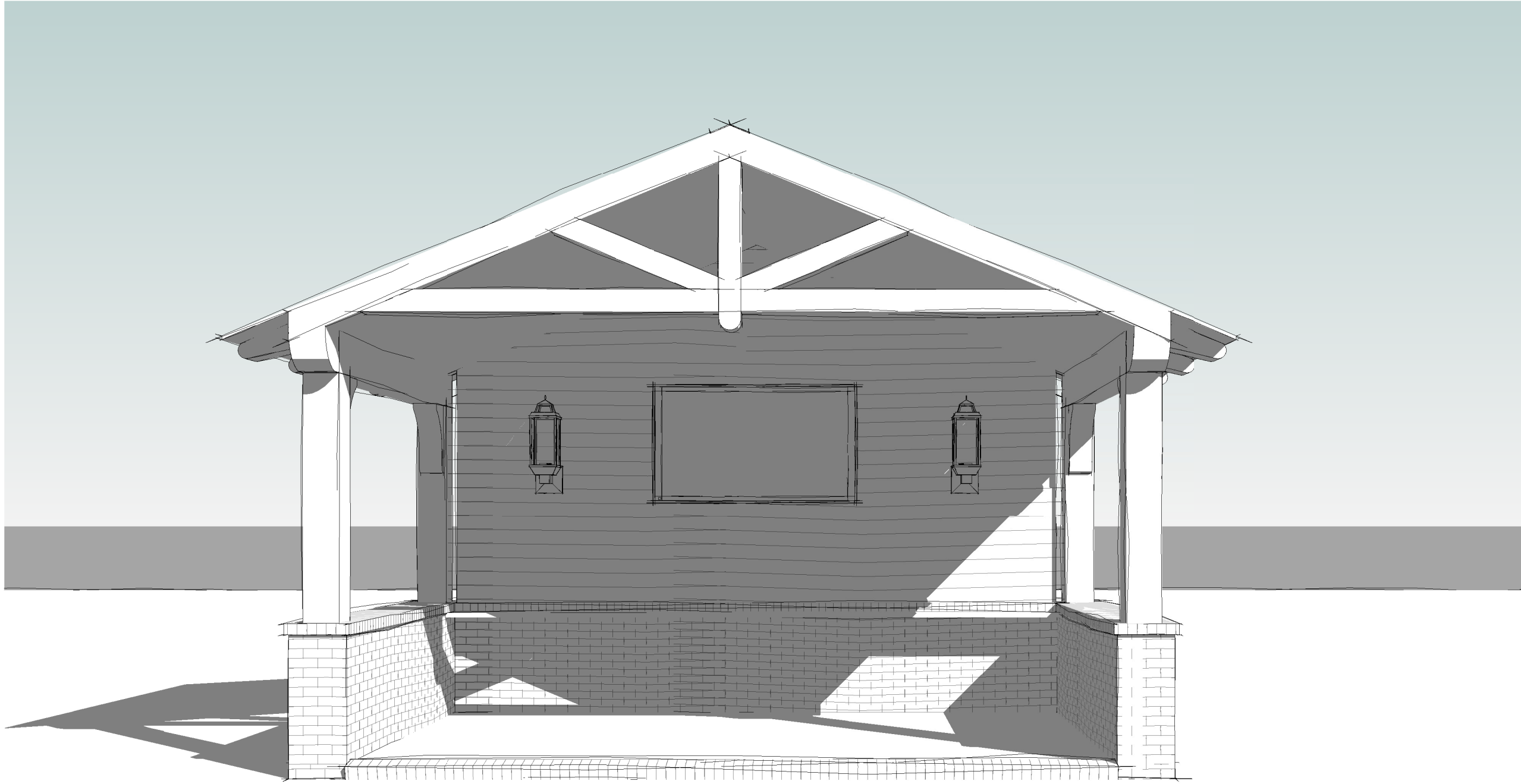
Proposed Site Plan
Proposed Elevations
Pictures of House



The Addison Group, LLC 2023

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LIST OF ABBREVIATIONS															
ABV	ABOVE	EA	EACH	MFR	MANUFACTURER	SND	SANITARY NAPKIN DISPENSER								
A.F.F.	ABOVE FINISHED FLOOR	E	EAST	M.O.	MASONRY OPENING	SNR	SANITARY NAPKIN RECEPTACLE								
ACC	ACCESS	ELEC	ELECTRICAL	MATL	MATERIAL	SCHED	SCHEDULE								
ACC PNL	ACCESS PANEL	EP	ELECTRIC PANEL BOARD	MAX	MAXIMUM	SECT	SECTION								
ACOUS	ACOUSTICAL	ELEV	ELEVATION	MECH	MECHANICAL	SHT	SHEET								
ADJ	ADJUSTABLE	ENCL	ENCLOSURE	MC	MEDICINE CABINET	SHWR	SHOWER								
AGG	AGGREGATE	ENG	ENGINEER	MEMB	MEMBRANE	SM	SMOKER								
ALT	ALTERNATE	EQ	EQUAL	MIL	METAL	SGD	SLIDING GLASS DOOR								
ALUM	ALUMINUM	EQUIP	EQUIPMENT	MIN	MINIMUM	S.C.	SOLID CORE								
ANCH	ANCHOR	EXIST	EXISTING	MIRR	MIRROR	S	SOUTH								
A.B.	ANCHOR BOLT	EXP	EXPANSION	MISC	MISC	SPEC	SPECIFICATION								
APT	APARTMENT	E.J.	EXPANSION JOINT	MTD	MOUNTED	SQ	SQUARE								
APPR	APPROVED	EXT	EXTERIOR	MULL	MULLION	S.F.	SQUARE FEET								
APPROX	APPROXIMATE					S.S.	STAINLESS STEEL								
ARCH	ARCHITECTUAL	F.O.B.	FACE OF BLOCK	NOM	NOMINAL	STD	STANDARD								
A.D.	AREA DRAIN	F.O.F.	FACE OF FINISH	N	NORTH	STO	STORAGE								
AVG	AVERAGE	F.O.S.	FACE OF STUD	NIC	NOT IN CONTRACT	STRUC	STRUCTURAL								
		FT	FEET OR FOOT	NTS	NOT TO SCALE	SV	SHEET VINYL FLOORING								
		FIN	FINISH	NO	NUMBER	SUSP CLG	SUSPENDED CEILING								
BSMT	BASEMENT					SYS	SYSTEM								
BM	BEAM	FF	FINISH FLOOR	OFF	OFFICE	TEL	TELEPHONE								
BRC	BEARING	F.D.	FIRE RETARDANT	O.C.	ON CENTER	TV	TELEVISION								
BKG PL	BEARING PLATE	SS	FIVE SHELVES	IR	ONE ROD	TEMP	TEMPERATURE								
BTUM	BITUMINOUS	FD	FLOOR DRAIN	IS	ONE SHELF	THR	THRESHOLD								
BLKG	BLOCKING	FURR DN	FURR DOWN	OPNG	OPENING	THK	THICK								
BD	BOARD			OPP HD	OPPOSITE HAND	TPH	TOILET PAPER HOLDER								
BOT	BOTTOM	GA	GAUGE	OSB	ORIENTED STRAND BOARD	TPH	TONGUE AND GROOVE								
B.O.B.	BOTTOM OF BEAM	GALV	GALVANIZED	O.D.	OUTSIDE DIAMETER	TB	TOWEL BAR								
BLDG	BUILDING	G.C.	GENERAL CONTRACTOR	OH	OVERHEAD	TR	TREAD								
		GL	GLASS			TYP	TYPICAL								
		CYP	GYPUM	PTD	PAINTED	TOS	TOP OF SLAB								
CAB	CABINET	GYP BD	GYPUM BOARD	PAR	PAR	T.O.B.	TOP OF BEAM								
C.O.	CASED OPENING			PKG	PARKING	T.O.W.	TOP OF WALL								
CLG	CEILING	HW	HARDWARE	PART	PARTITION	2R	TWO RODS								
CLG HGT	CEILING HEIGHT	HDR	HEADER	PLAS	PLASTIC	2S	TWO SHELVES								
CEM	CEMENT	HGT	HEIGHT	P. LAM	PLASTIC LAMINATE		UNLESS NOTED OTHERWISE								
CER	CERAMIC	HC	HOLLOW CORE	PL	PLATE	UNO	UNLESS NOTED OTHERWISE								
C.T.	CERAMIC TILE	HM	HOLLOW METAL	PLYWD	PLYWOOD	UNFIN	UNFINISHED								
CIR	CIRCLE	HORIZ	HORIZONTAL	PT	POINT	UR	URINAL								
CLO	CLOSET	HB	HOSE BIB	P. C.	PULL CHAIN										
COL	COLUMN			PT	PRESSURE TREATED	VJ	VEE JOINT								
COMP	COMPOSITION					VNR	VENEER								
CONC	CONCRETE	IN	INCH	RAD	RADIUS	VERT	VERTICAL								
CMU	CONCRETE MAS. UNIT	ID	INSIDE DIAMETER	REF	REFERENCE	VCT	VINYL COMPOSITION TILE								
CONTR	CONTRACTOR	INSUL	INSULATION	REIN	REINFORCED	WSC	WAINSCOT								
CONSTR	CONSTRUCTION	INT	INTERIOR	REQD	REQUIRED	WC	WATER CLOSET								
CONT	CONTINUOUS			RR	REST ROOM	WH	WATER HEATER								
C.J.	CONTROL JOINT	RA	RETURN AIR	REV	REVERSE/REVISION	WP	WATER PROOF								
		RT	RIGHT	RH	RIGHT HAND	WEEP	WEEP HOLE								
		LAM	LAMINATE	R.O.W.	RIGHT OF WAY	WT	WEIGHT								
DIL	DETAIL	LAV	LAVATORY	R	RISER	W	WEST								
DIA	DIAMETER	LGT	LIGHT	RD	ROOF DRAIN	WDW	WINDOW								
DIM	DIMENSION	LIN	LINEN	RM	ROOM	WD	WOOD								
DW	DISH WASHER	LTL	LINTEL	RO	ROUGH OPENING	WJ	WITH								
DSP	DISPENSER					WJO	WITH OUT								
DSPD	DISPOSAL					YD	YARD								
D.O.	DOOR OPENING														
DBL	DOUBLE														
D.H.	DOUBLE HUNG														
DRWR	DRAWER														
DWG	DRAWING														
D.O.	DRYWALL OPENING														



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WOODRIDGE HOMES, LLC

This drawing shall not be reproduced, changed or copied in any form in whole or part. This drawing is limited to a one time use and shall not be used for the construction of any other project, without first obtaining the express written permission and consent of Woodridge Homes, llc.

Before starting construction each contractor shall verify all dimensions, details, and information given in this drawing.. Use ONLY given dimensions. Do NOT scale this drawing. All codes shall be adhered to and considered as part of this drawing even if they are in variance with this drawing in part or whole.

MR. & MRS.
GRENVICZ

Plan Name:
GRENVICZ
CABANA

Lot # 16
WHETSTONE

Address:

9401 WEYMOUTH RD.
BRENTWOOD TN

M1- ###

M2- ###

MT- ###

HT- ###

PROJECT NO.

DRAWN BY:

DATE:

PROJECT #

LJH

05/24/2023

NO. DESCRIPTION

DATE

SHEET
A0
COVER

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GENERAL NOTES

- THESE NOTES AND DETAILS ARE GENERAL AND ARE APPROPRIATE TO ALL PHASES OF THIS PROJECT UNLESS OTHERWISE NOTED OR SHOWN. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO WOODRIDGE HOMES, LLC.
- IT SHALL BE THE SUBCONTRACTORS' RESPONSIBILITY TO PROVIDE A STRUCTURALLY SOUND AND WEATHERPROOF BUILDING UTILIZING INDUSTRY STANDARDS AND DETAILING. THE SUBCONTRACTOR SHALL NOTIFY A REPRESENTATIVE OF WOODRIDGE HOMES, LLC OF ANY DISCREPANCIES OR INTRICACIES RECOGNIZED BEFORE ANY CONSTRUCTION OF SUCH.
- BEFORE THE ERECTION OF THIS BUILDING, IT SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR(S) TO VERIFY ALL DIMENSIONS AND DETAILS FOR THE OVERALL ACCURACY OF THE BUILDING AND THE BUILDING SITE, TO INCLUDE FINAL SELECTION OF BUILDING MATERIALS, WHICH MAY CREATE REVISED DIMENSIONS AND DETAILS. IF DIMENSIONS ARE IN QUESTION OR REQUIRE A REVISION, VERIFY WITH A REPRESENTATIVE OF WOODRIDGE HOMES, LLC. **DO NOT SCALE DRAWINGS.**
- IT SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR(S) TO ENSURE THAT THE CONSTRUCTION OF THIS BUILDING SHALL MEET OR EXCEED ALL APPLICABLE FEDERAL, STATE, OR LOCAL CODE REQUIREMENTS/ZONING REQUIREMENTS. IT SHALL BE THE BUILDER'S/SUPERINTENDANTS' RESPONSIBILITY TO COORDINATE THE ENTIRE CONSTRUCTION OF THIS BUILDING IN ACCORDANCE WITH ALL CODES, LAWS AND ORDINANCES SET BY THE AUTHORITIES HAVING JURISDICTION, AND TO VERIFY THAT ALL CONTRACTOR'S AND SUBCONTRACTORS' WORK CONFORMS TO THE JOB CONDITIONS AND CONSTRUCTION DOCUMENTS AS INDICATED WITHIN.
- IT SHALL BE THE RESPONSIBILITY OF THE SUPERINTENDENT(S) TO REVIEW ALL DRAWINGS AND DETAILS AND COORDINATE WITH SITE CONDITIONS TO BUILD THIS STRUCTURE WITH THE DESIGNED ELEVATION OF THE FINISHED FLOOR ABOVE TYPICAL GRADE. NOTIFY A REPRESENTATIVE OF WOODRIDGE HOMES, LLC., SHOULD A CONDITION REQUIRE ANY MODIFICATION TO THE DESIGN INTENT INDICATED IN THESE CONSTRUCTION DOCUMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO REVIEW ALL FINISH FLOOR MATERIALS. ALL FINISH FLOORS SHALL BE FLUSH WITH THE ADJACENT FINISH FLOOR MATERIALS OF SIMILAR OR DISSIMILAR THICKNESS. ADJUST FLOOR FRAMING OR CONCRETE SLAB AS REQUIRED TO MEET THIS DESIGN INTENT.
- ALL WINDOW SIZES INDICATED ON FLOOR PLANS ARE NOTED AS GENERIC SIZES. REFER TO FLOOR PLANS, WALL SECTIONS AND EXTERIOR ELEVATIONS FOR: WINDOW ROUGH OPENINGS, HEAD AND SILL HEIGHT ABOVE FLOOR DECK/SLAB, TRANSOM AND WINDOW ALIGNMENT, WINDOW TYPES, AND MUNTIN PATTERNS.
- THE INSTALLATION OF A PREFABRICATED FIREPLACE SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING FIRE SEPARATION, CLEARANCES, ETC. IT SHALL BE THE BUILDER'S/SUPERINTENDENTS' RESPONSIBILITY TO ENSURE THAT THE ERECTION OF THE CHIMNEY AND FLUE MEET OR EXCEED ALL APPLICABLE CODES. THE OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH THE HEIGHT SHOWN ON EXTERIOR ELEVATIONS AND SHALL NOT EXCEED THE TOP OF THE CHIMNEY CHASE AS CONSTRUCTED.
- ALL EXTERIOR EXPOSED WORK SHALL BE INSTALLED IN A WEATHER-TIGHT MANNER. CAULK AND PROVIDE WEATHER BARRIER MATERIALS AS REQUIRED TO ACHIEVE A WEATHER-TIGHT ENVELOPE. ALL OCCUPIED SPACES SHALL RECEIVE AN INSULATION BARRIER PER LOCAL CODES AND CONDITIONS WHICH SHALL BE CONTINUOUS AT WALL, CEILING AND FLOOR SURFACES.
- THESE DOCUMENTS ARE THE PROPERTY OF WOODRIDGE HOMES, LLC. THEY ARE FOR THE USE OF THE CONTRACTOR, SUBCONTRACTOR(S) AND VENDOR(S) IN BUILDING THIS SINGLE PROJECT. ALL OTHER USE(S) IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF WOODRIDGE HOMES, LLC.
- THESE DOCUMENTS ARE COPYRIGHTED MATERIALS AND SHALL NOT BE COPIED, REPRODUCED OR STORED BY ANY MEANS (INCLUDING FUTURE TECHNOLOGIES) IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF WOODRIDGE HOMES, LLC.

STRUCTURAL NOTES

GENERAL NOTES:

- THE BUILDER SHALL INSPECT THE PROPOSED SITE AND EXCAVATED CONDITIONS PRIOR TO STARTING THE ERECTION OF ANY PART OF THIS BUILDING. THE BUILDER SHALL NOTIFY WOODRIDGE HOMES OF ANY ATYPICAL CONDITIONS REGARDING SOILS, GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN.

FOUNDATION NOTES:

- IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO REVIEW ALL FINISH FLOOR MATERIALS. ALL FINISH FLOORS SHALL BE FLUSH WITH THE ADJACENT FINISH FLOOR MATERIALS OF SIMILAR OR DISSIMILAR THICKNESS. ADJUST FLOOR FRAMING OR CONCRETE SLAB AS REQUIRED TO MEET THIS DESIGN INTENT.
- THE FOUNDATION SHOWN IN THESE DOCUMENTS IS DESIGNED FOR A MINIMUM SOIL BEARING CAPACITY OF 2,000 P.S.F.
- ALL CONCRETE WORK SHALL DEVELOP A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,000 P.S.I.
- ALL FOOTINGS SHALL BE CONSTRUCTED OF 3,000 P.S.I. CONCRETE REINFORCED WITH 2-#4 REBAR AND SHALL BE 2'-0" WIDE X 10" DEEP. ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED SOIL WELL BELOW THE FROST LINE.
- WHERE SHOWN, FOUNDATION WALLS SHALL BE CONSTRUCTED OF NOMINAL 12"x8"x16" CMU FOR THE FIRST COURSE TO CREATE A BRICK LEDGE AND NOMINAL 8"x8"x16" CMU FOR ALL ADDITIONAL COURSES. WHERE FOUNDATION WALL HEIGHT WILL EXCEED A HEIGHT OF 30" ABOVE GRADE, REINFORCE WITH #4 REBAR AT 12" O.C. VERTICAL AND GROUT CORES SOLID.
- WHERE SHOWN, CONCRETE SLAB SHALL BE CONSTRUCTED OF 3,000 P.S.I. CONCRETE AND SHALL BE 4" THICK (MIN) AND REINFORCED WITH FIBER MESH OVER 6 MIL POLYETHYLENE MOISTURE BARRIER. SLAB SHALL BE CONSTRUCTED OVER 4" LAYER OF GRAVEL OR SAND PLACED ON A FIRM LAYER OF COMPACTED FILL DIRT WHICH HAS BEEN TREATED FOR THE PREVENTION OF TERMITES AS PER LOCAL CODES.
- WHERE SHOWN, PIERS SHALL BE CONSTRUCTED FROM NOMINAL 8"x8"x16" CMU WITH 2-#4 REBARS VERTICAL AND CELLS GROUTED SOLID. PIERS SHALL BE PLACED ON A CONCRETE FOOTING MEASURING 24"x36"x12" DEEP AND REINFORCED WITH 3-#4 REBARS MEASURING 30" LONG ON TOP AND 4-#4 REBARS MEASURING 18" ON BOTTOM.
- WHERE SHOWN, THICKENED SLABS SHALL BE 24" WIDE AND 8" DEEP, REINFORCED WITH 2-#4 REBARS CONTINUOUS. PROVIDE POST HOLES AT 4'-0" O.C.
- REINFORCING BARS (REBAR) SHALL CONFORM TO A.S.T.M. - 615, GRADE 60 (60,000 P.S.I. YIELD STRENGTH). REINFORCEMENT IN ALL CONCRETE WALLS AND FOOTINGS SHALL BE CONTINUOUS AROUND CORNERS.

FOUNDATION NOTES (CONTINUED):

- ALL SOLE PLATES AT EXTERIOR WALLS AND INTERIOR LOAD BEARING WALLS SHALL BE ANCHORED WITH 1/2" x 10" LONG ANCHOR BOLTS EMBEDDED IN 7" (MIN) CONCRETE AND SHALL BE SPACED 48" O.C. AND 12" FROM EACH CORNER

FRAMING NOTES:

- ALL STRUCTURAL SAWN AND GLUED LAMINATED TIMBER SHALL CONFORM TO THE FOLLOWING SPECIES AND STRESS GRADES:
 - STRESS GRADE SAWN LUMBER CONFORMING TO NATIONAL SPECIFICATIONS FOR SURFACE DRIED NO. 2 SELECT, STRUCTURAL PINE WITH ALLOWABLE STRESS VALUES OF 1,300 P.S.I. (BENDING) AND A MODULUS OF ELASTICITY OF 1,600 K.S.I.
 - THE PRODUCTION, TESTING, INSPECTION, IDENTIFICATION AND CERTIFICATION OF GLUED LAMINATED TIMBER SHALL CONFORM TO U.S. COMMERCIAL STANDARD CS 253-63 AND A.I.T.C. 200. GLUE USED SHALL BE WATERPROOF. ALLOWABLE STRESS VALUES SHALL BE 2,400 P.S.I. (BENDING), 1,400 P.S.I. (TENSION - PARALLEL TO GRAIN), 2,100 P.S.I. (COMPRESSION PARALLEL TO GRAIN), 200 P.S.I. (SHEAR), AND A MODULUS OF ELASTICITY OF 1,900 K.S.I.
- PROVIDE TEMPORARY BRACING AS REQUIRED TO MAINTAIN ALIGNMENT AND SECURITY OF STRUCTURES DURING CONSTRUCTION.
- PROVIDE FULL, SOLID STUD UNDER ALL BEAM BEARING POINTS TO CARRY LOADS TO SOLID FOUNDATION CONDITIONS BELOW.
- TYPICAL EXTERIOR STUD WALLS SHALL BE NOMINAL 2x4, SHEATHED WITH 1/2" EXTERIOR GRADE O.S.B. PLYWOOD. O.S.B. PLYWOOD SHALL SPAN OVER ALL PLATES AND HEADERS, AND SHALL BE ADEQUATELY FASTENED TO CREATE A "DIAPHRAGM" WALL.
- PROVIDE PRESSURE TREATED LUMBER WHERE REQUIRED BY CODE AND/OR BY GOOD CONSTRUCTION PRACTICES (E.G. CONTACT WITH CONCRETE)
- ALL EFFORTS SHALL BE TAKEN TO ASSURE A "QUIET" FLOOR SYSTEM. (E.G. GLUE AND SCREW PLYWOOD DECKING TO JOISTS).

MECHANICAL ELECTRICAL PLUMBINGNOTES

MECHANICAL NOTES:

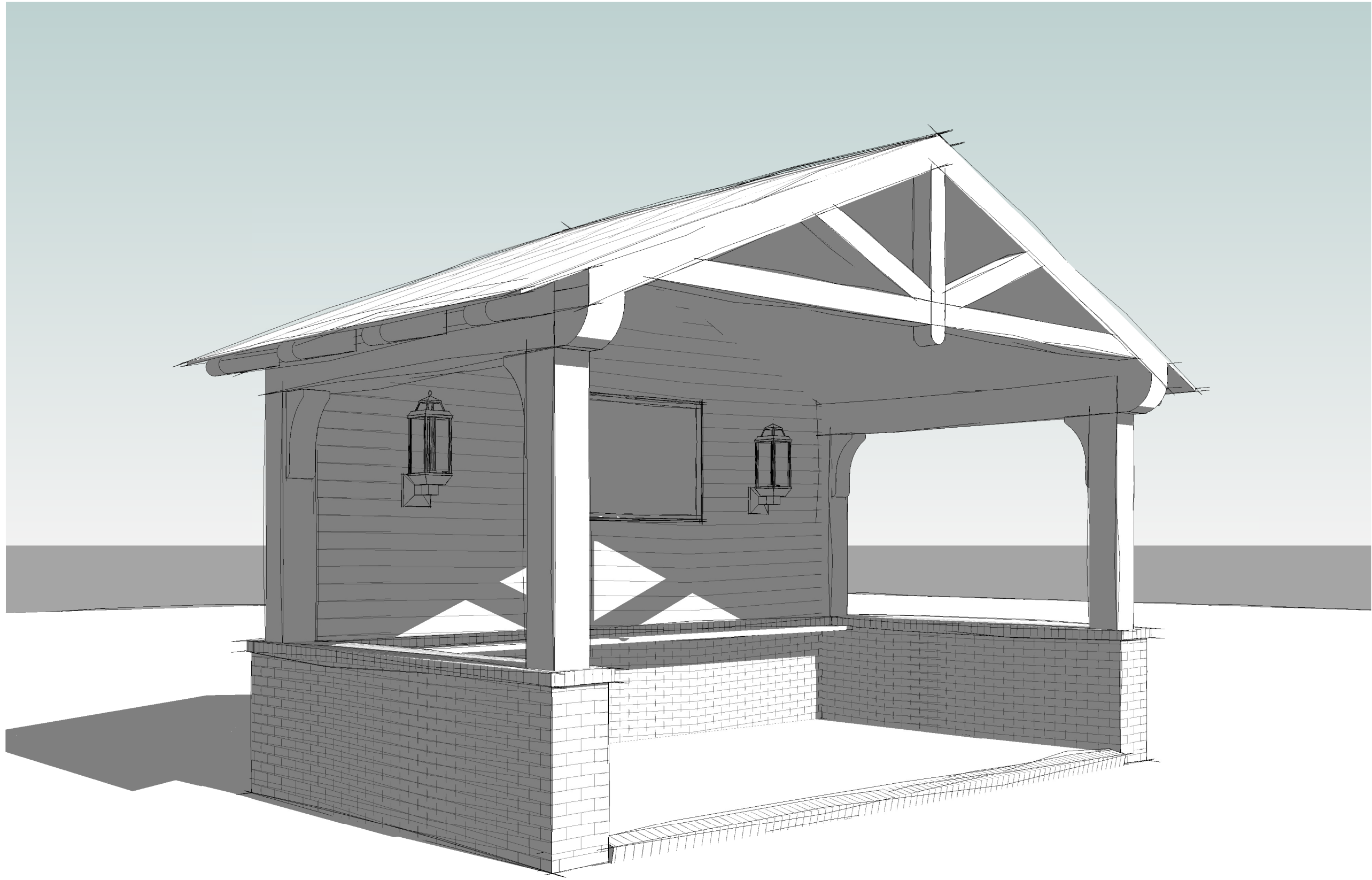
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO DESIGN AND ENGINEER THE H.V.A.C. SYSTEM TO ENSURE A COMFORT ZONE OF 70° WHETHER HEATING OR COOLING.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE ALL SYSTEM DATA AND REQUIREMENTS WITH THE EQUIPMENT SUPPLIER; AND, TO PROVIDE AND SUBMIT ENGINEERED PLANS AND SPECIFICATIONS TO THE BUILDER/OWNER IN ADDITION TO THE BUILDING CODES DEPARTMENT AS MAY BE REQUIRED FOR APPROVAL.
- MECHANICAL CONTRACTOR TO INSTALL ALL EQUIPMENT AND H.V.A.C. SYSTEMS IN STRICT COMPLIANCE WITH ALL CODES, ORDINANCES AND GOVERNING BODIES.
- ALL PLUMBING AND MECHANICAL VENTS SHALL BE GROUPED TOGETHER WITHIN THE ATTIC SPACE TO MINIMIZE ROOF PENETRATIONS. NO VENT OR FLUE SHALL BE LOCATED ON THE FRONT PLANE OF ANY ROOF; AND, ADDITIONALLY, ALL VENTS AND FLUES SHALL BE LOCATED SO AS TO BE AS VISUALLY "NON-OFFENSIVE" AS POSSIBLE. PAINT ALL VENTS AND FLUES TO MATCH ROOF COLOR.
- PROVIDE SERVICE (E.G. ELECTRICITY, GAS, ETC.) TO ALL EQUIPMENT (E.G. WATER HEATER, H.V.A.C. APPLIANCES, ETC.) AS REQUIRED. LOCATE UTILITY METERS AWAY FROM PUBLIC VIEW.

ELECTRICAL NOTES:

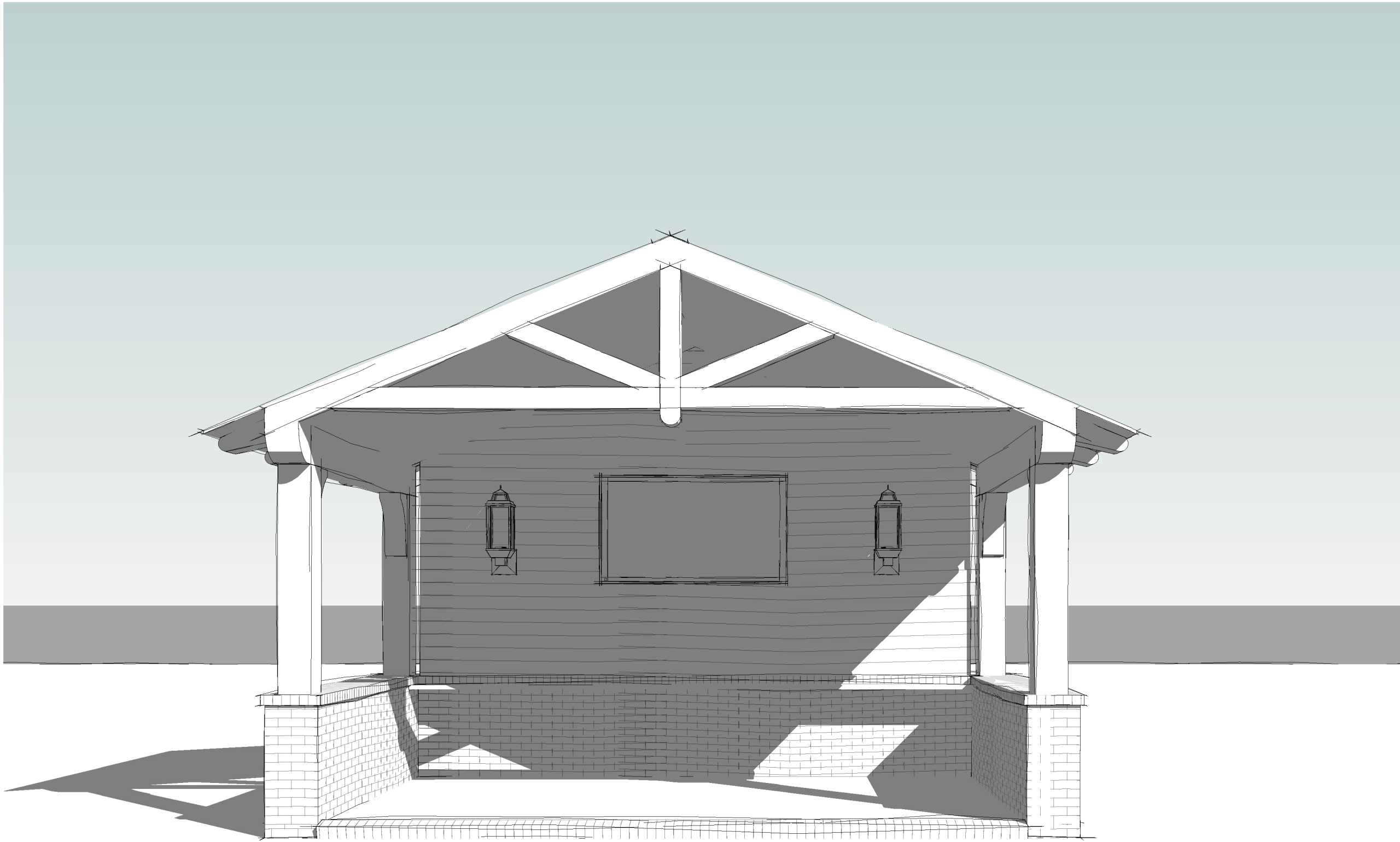
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO DESIGN AND ENGINEER THE ELECTRICAL SYSTEM, INCLUDING BUT NOT LIMITED TO: SERVICE, METERING, PANEL BOARDS AND CIRCUITING.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO COORDINATE ALL SYSTEM DATA AND REQUIREMENTS; AND, TO PROVIDE AND SUBMIT ENGINEERED PLANS AND SPECIFICATIONS TO THE BUILDER/OWNER IN ADDITION TO THE BUILDING CODES DEPARTMENT AS MAY BE REQUIRED FOR APPROVAL.
- THE ELECTRICAL PLAN(S) PROVIDED INDICATE ONLY THE DESIGN INTENT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL ALL SYSTEMS, EQUIPMENT AND FIXTURES AS REQUIRED BY THE BUILDER/OWNER. ALL ELECTRICAL WORK/INSTALLATION SHALL BE DONE IN STRICT COMPLIANCE WITH ALL CODES, ORDINANCES AND GOVERNING BODIES.
- ALL RECEPTACLES NEAR "WET" CONDITIONS SHALL BE OF A "GROUND FAULT INTERRUPTING" (G.F.I.) TYPE OR PROTECTED BY A G.F.I. CIRCUIT IN ACCORDANCE WITH BUILDING CODES, ORDINANCES AND GOVERNING BODIES.
- ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL HARDWIRED SMOKE DETECTORS WITH BATTERY BACK-UP ON ALL FLOORS AND IN EACH BEDROOM. VERIFY NUMBER AND LOCATION WITH LOCAL CODES.
- ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE BUILDER/OWNER THE NEED FOR EXTERIOR CIRCUITS TO FACILITATE SECURITY LIGHTING, LANDSCAPE LIGHTING, AND/OR OTHER SPECIAL ITEMS, AND SHALL COORDINATE THE LOCATION OF SWITCHES AND CIRCUITS WITH THE BUILDER/OWNER.

PLUMBING NOTES:

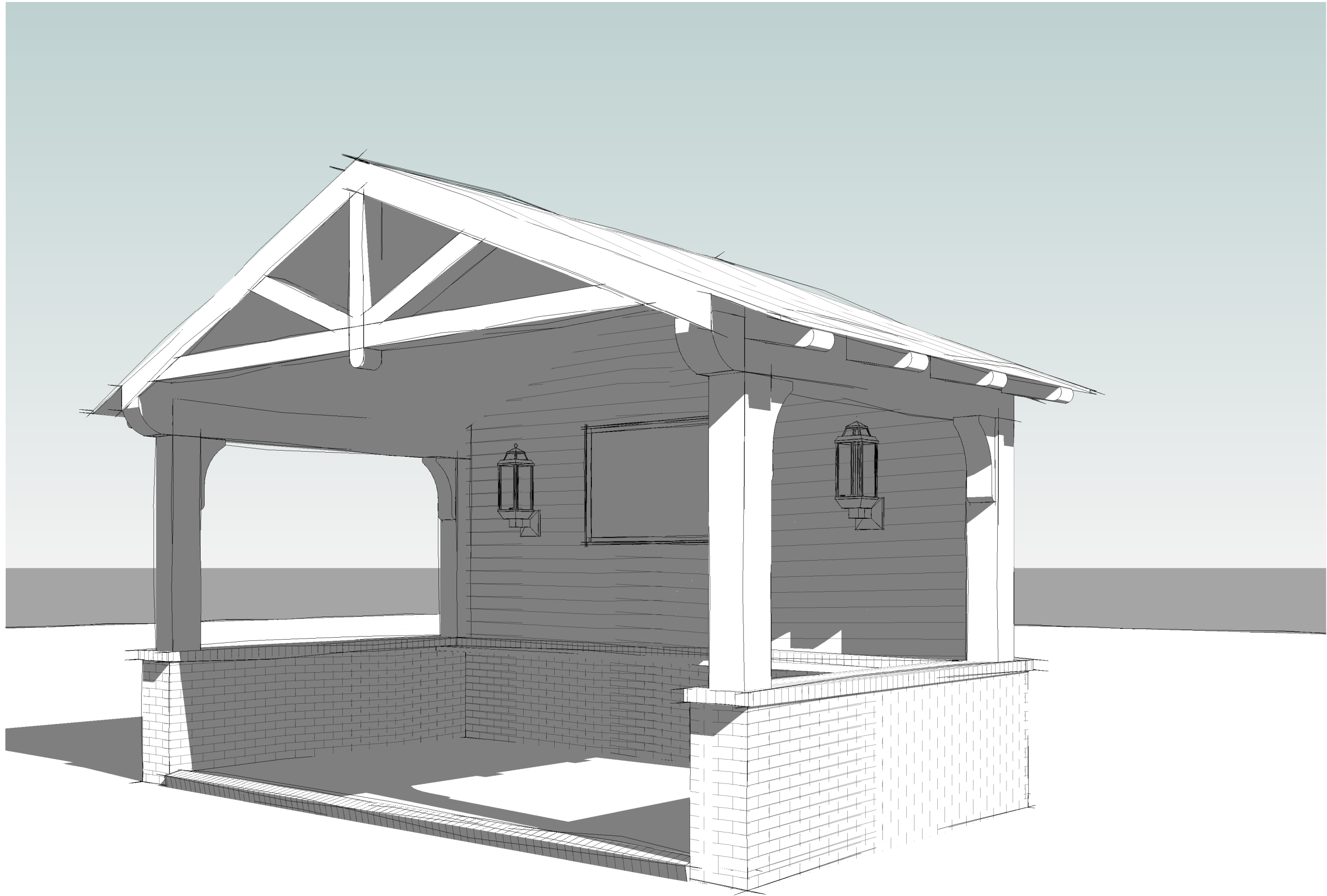
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO DESIGN AND ENGINEER THE PLUMBING SYSTEM, INCLUDING BUT NOT LIMITED TO: WATER SUPPLY, METERING, WASTE AND VENTING, AND GAS SERVICE.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO COORDINATE ALL SYSTEM DATA; AND, TO PROVIDE AND SUBMIT ENGINEERED PLANS AND SPECIFICATIONS TO THE BUILDER/OWNER IN ADDITION TO THE BUILDING CODES DEPARTMENT AS MAY BE REQUIRED FOR APPROVAL.
- THE PLUMBING PLAN(S) PROVIDED INDICATE ONLY THE DESIGN INTENT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO PROVIDE AND INSTALL ALL SYSTEMS, EQUIPMENT AND FIXTURES AS REQUIRED BY THE BUILDER/OWNER. ALL PLUMBING WORK/INSTALLATION SHALL BE DONE IN STRICT COMPLIANCE WITH ALL CODES, ORDINANCES AND GOVERNING BODIES.
- REFER TO MECHANICAL NOTE #4 REGARDING VENTS
- PLUMBING CONTRACTOR SHALL VERIFY WITH THE BUILDER/ OWNER THE NEED FOR EXTERIOR WATER SUPPLY OR DRAINAGE TO FACILITATE LANDSCAPE IRRIGATION AND/OR OTHER SPECIAL ITEMS, AND SHALL COORDINATE THE LOCATION OF EQUIPMENT AND VALVES WITH THE BUILDER/OWNER.



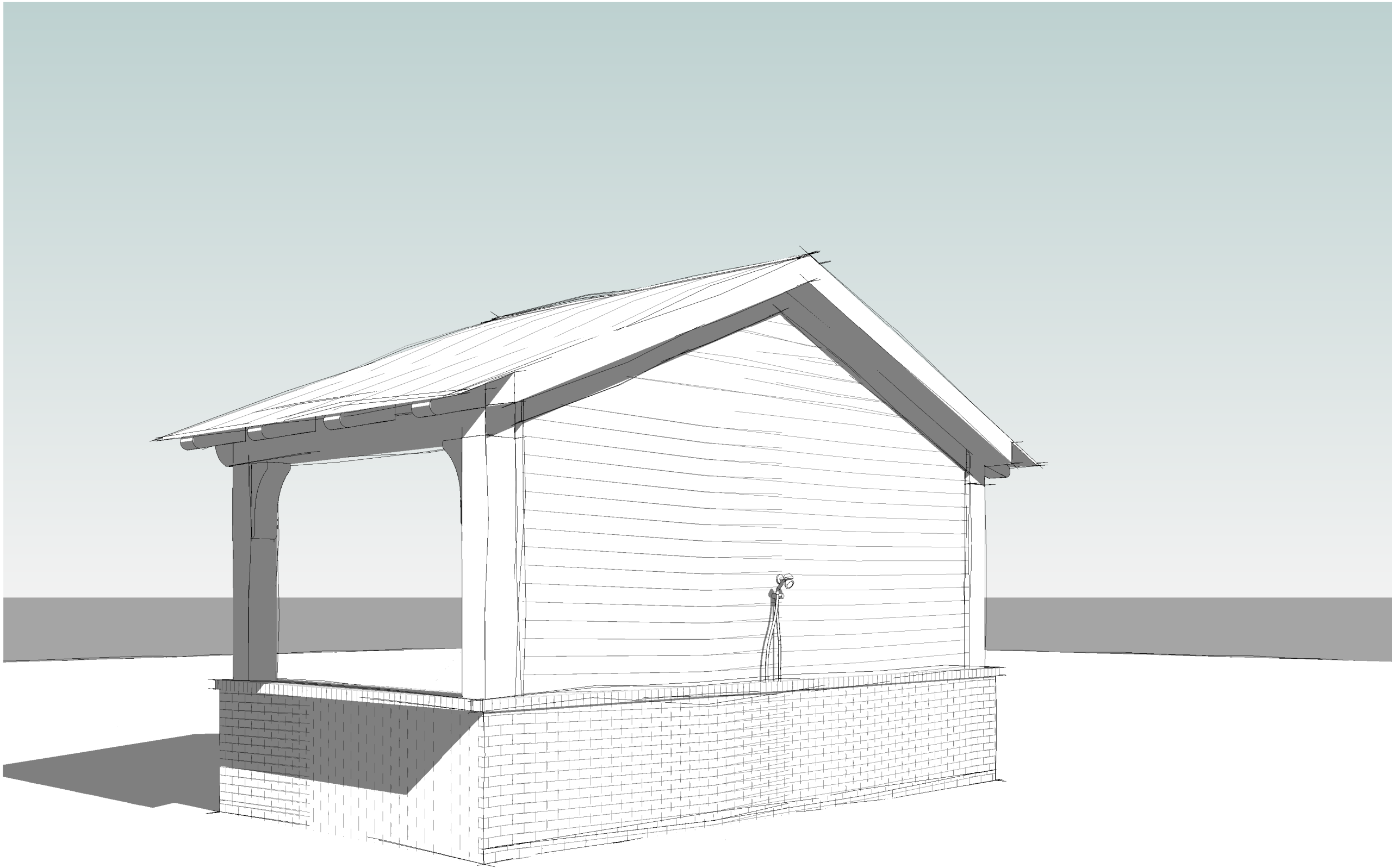
1 3D View 1



2 3D View 2



3 3D View 3



4 3D View 4



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MR. & MRS.
GRENVICZ

Plan Name:
GRENVICZ
CABANA

Lot # 16
WHETSTONE

Address:

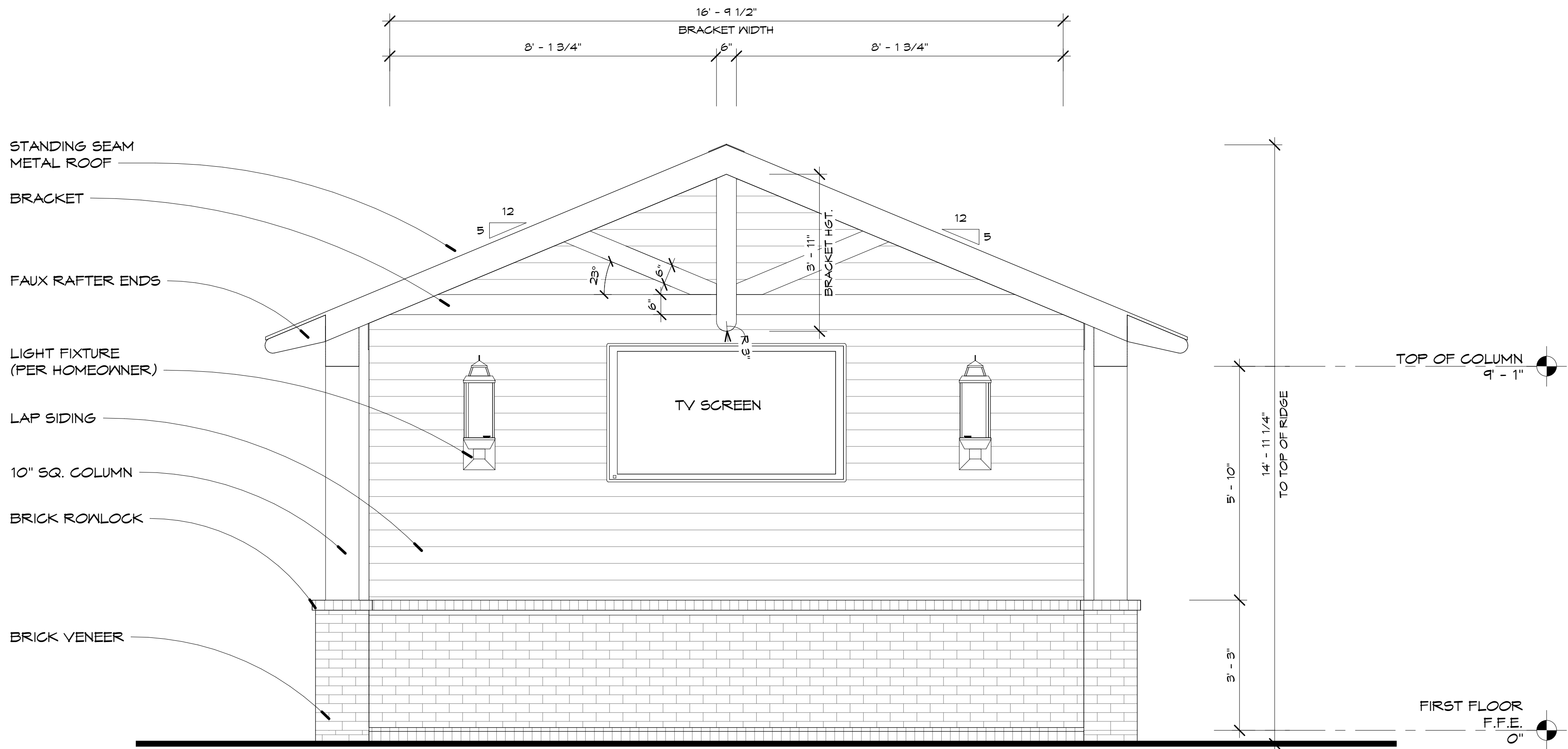
9401 WEYMOUTH RD.
BRENTWOOD TN

M1- ## M2- ##
MT- ## HT- ##

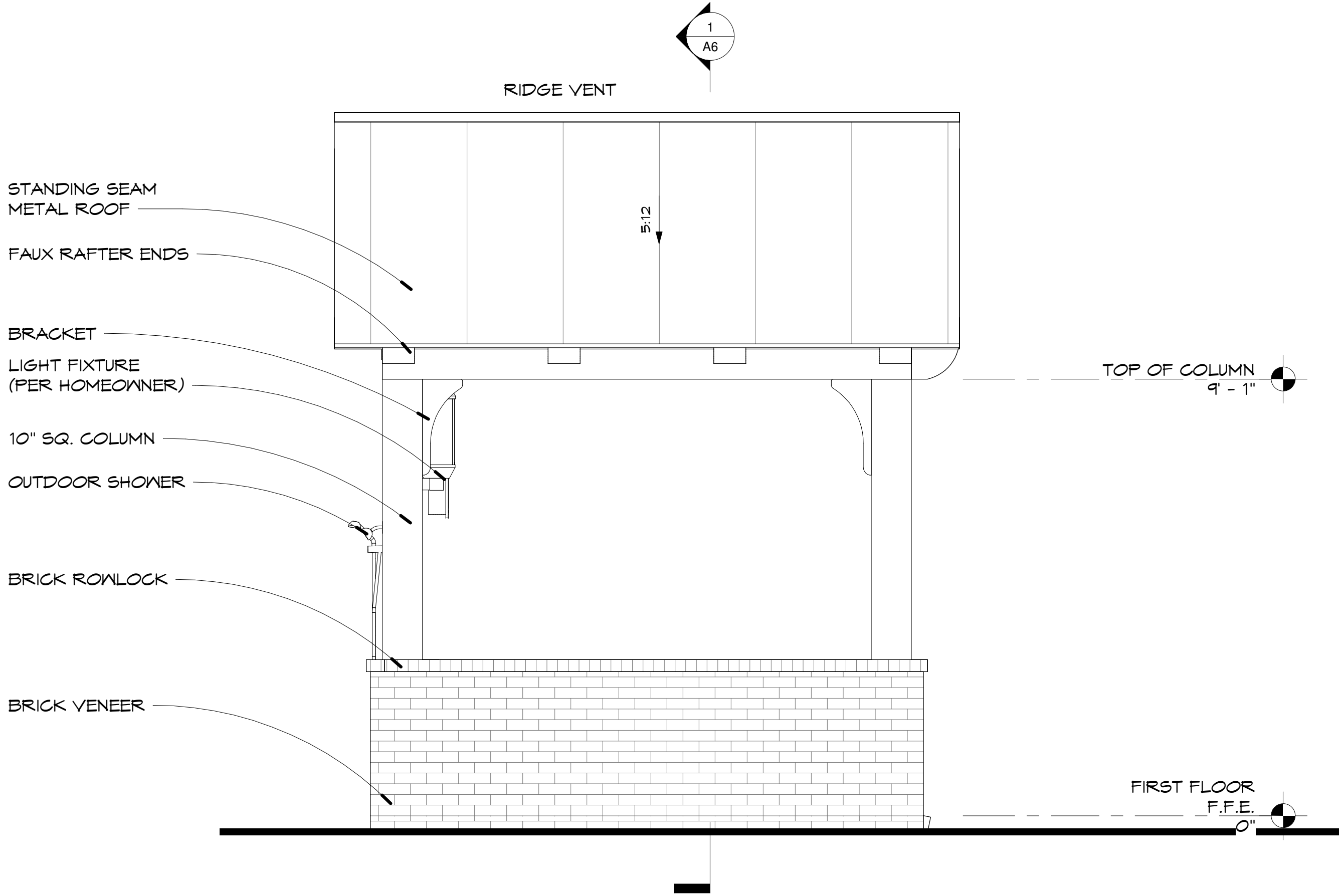
PROJECT NO. PROJECT #
DRAWN BY: LJH
DATE: 05/24/2023

NO.	DESCRIPTION	DATE

SHEET
A1
PERPECTIVE
VIEWS



① FRONT ELEVATION
1/2" = 1'-0"



② LEFT ELEVATION
1/2" = 1'-0"



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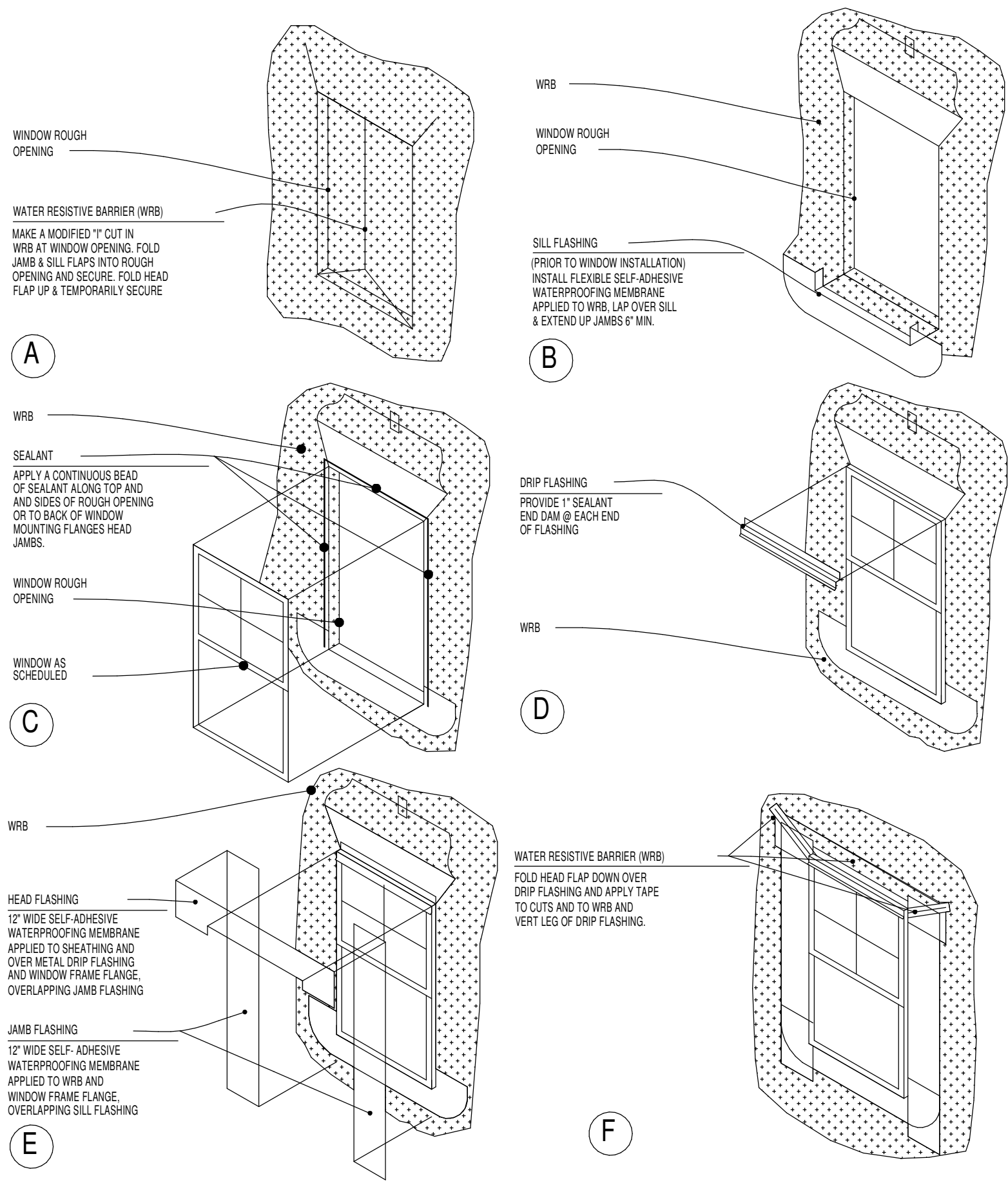
Address:
9401 WEYMOUTH RD.
BRENTWOOD TN

M1- ### M2- ###
MT- ### HT- ###

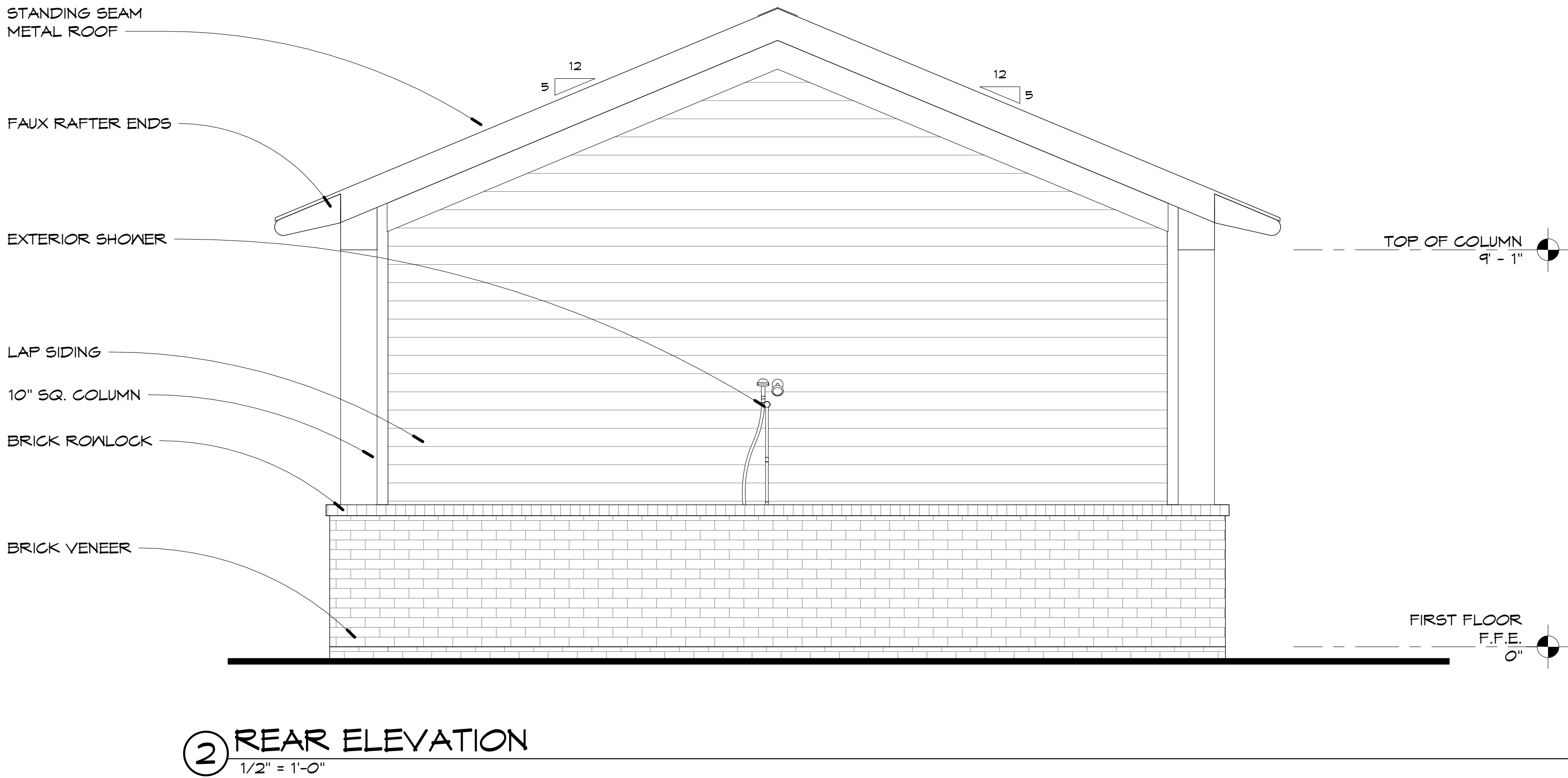
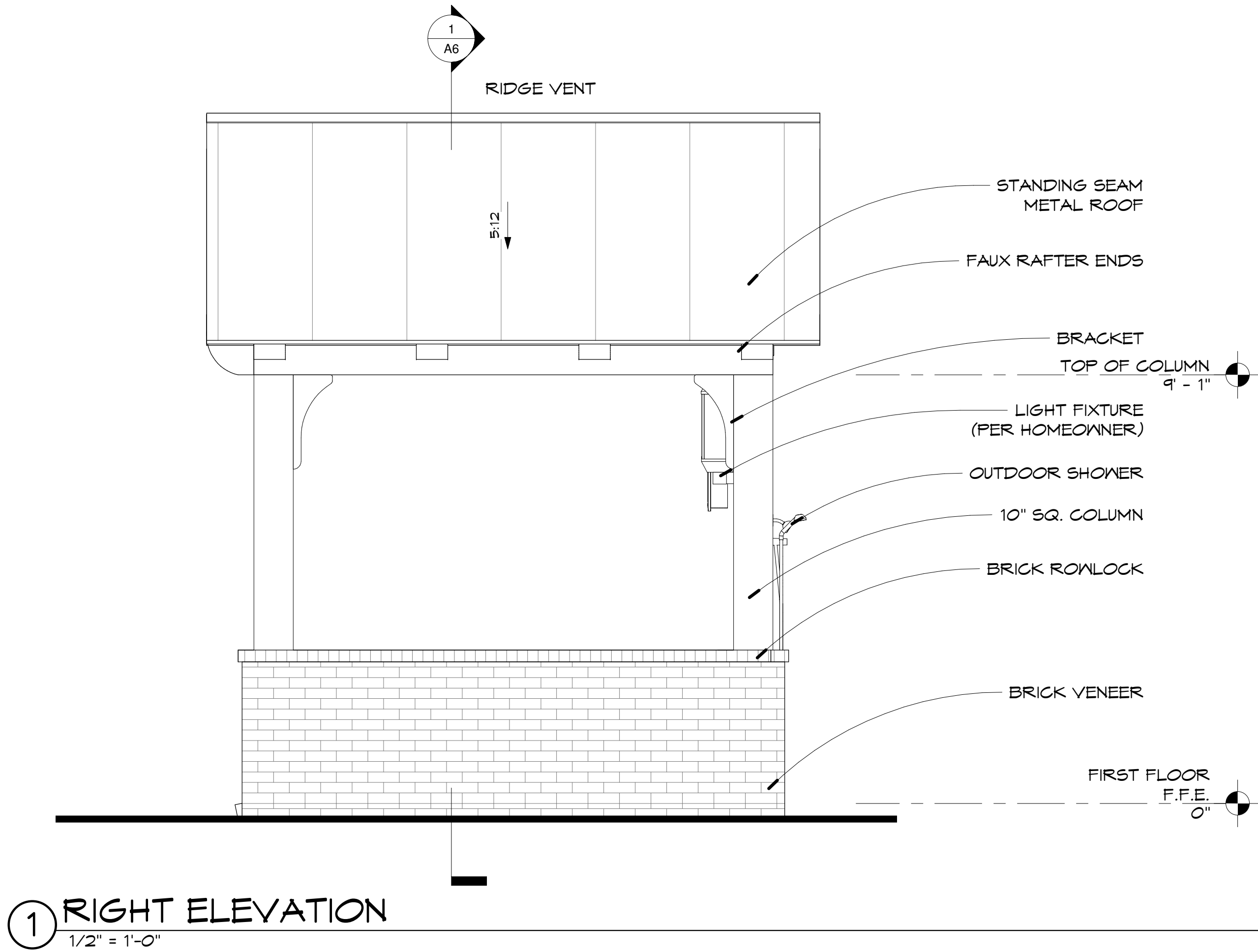
PROJECT NO. PROJECT #
DRAWN BY: LJH
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NO.	DESCRIPTION	DATE

SHEET A2
EXTERIOR ELEVATIONS



FLEXABLE FLASHING DETAILS
SCALE: N.T.S.



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M1- ###	M2- ###
MT- ###	HT- ###

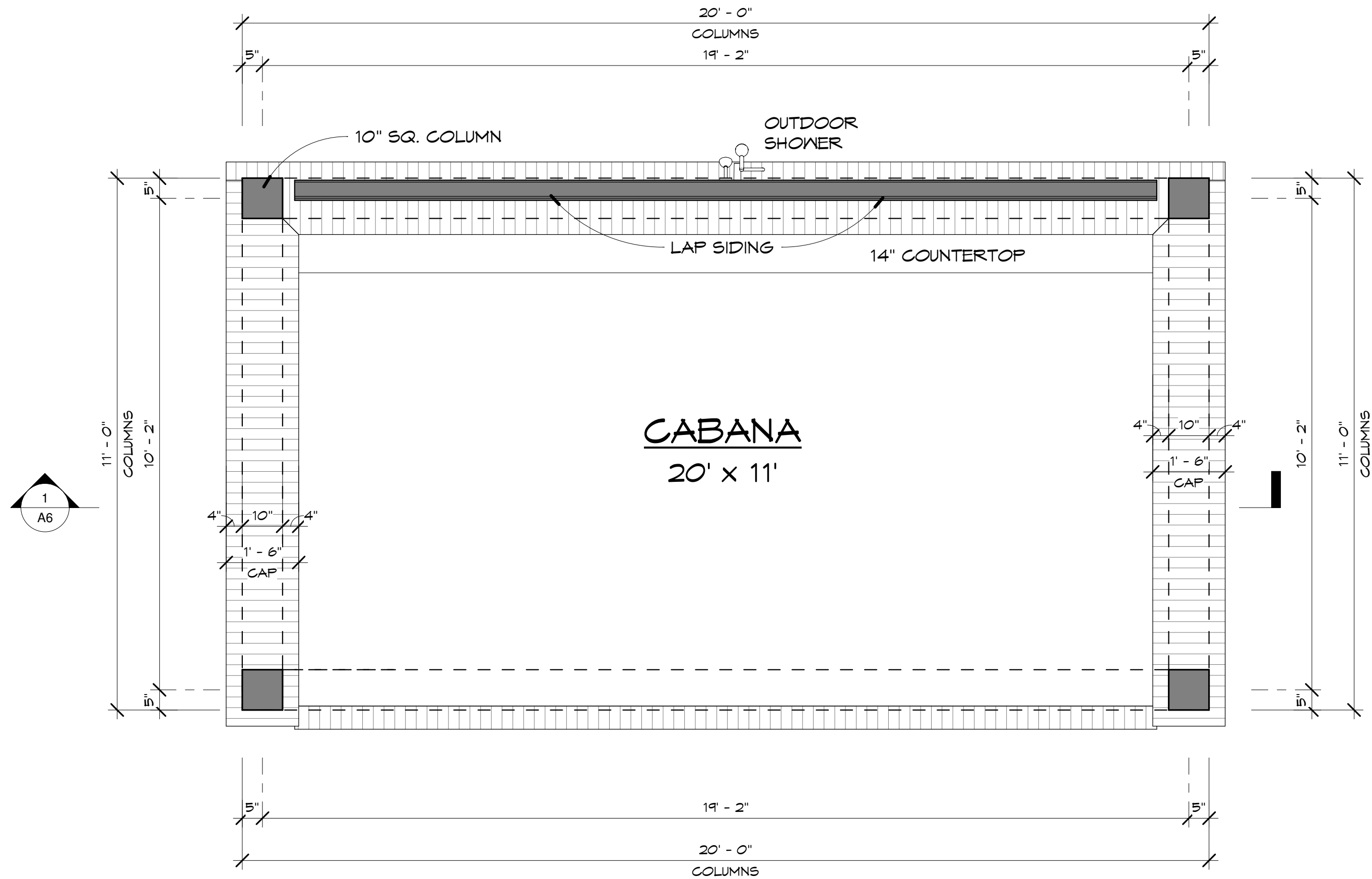
PROJECT NO. PROJECT #
DRAWN BY: LJH
DATE: 05/24/2023

NO.	DESCRIPTION	DATE

SHEET
A3
EXTERIOR
ELEVATIONS

PLAN NOTES: FIRST FLOOR	
1.	ALL EXTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF BRICK TO OUTSIDE FACE OF BRICK AND TO CENTERLINE OF OPENINGS. WHERE BRICK VENEER IS ABSENT, DIMENSIONS ARE FROM OUTSIDE FACE OF STUD TO OUTSIDE FACE OF STUD AND TO THE CENTERLINE OF OPENINGS, UNLESS OTHERWISE NOTED
2.	ALL EXTERIOR STUDS NOT DIMENSIONED ARE 4" UNLESS OTHERWISE NOTED. (3 1/2" STUD + 1/2" SHEATHING)
3.	ALL INTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF STUD TO OUTSIDE FACE OF STUD. ALL INTERIOR STUDS NOT DIMENSIONED ARE 3 1/2" (ACTUAL) UNLESS OTHERWISE NOTED.
4.	OUTSIDE FACE OF SHEATHING TO OUTSIDE FACE OF BRICK IS 4"
5.	ALL ANGLED WALLS SHALL BE 45° UNLESS OTHERWISE NOTED
6.	ALL FIRST FLOOR CEILINGS SHALL BE 10'-0" A.F.F. UNLESS OTHERWISE NOTED
7.	THE WINDOW ROUGH OPENING HEAD HEIGHT SHALL BE 8'-2" A.F.F. AT THE FIRST FLOOR UNLESS OTHERWISE NOTED.
8.	REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW ALIGNMENT, WINDOW TYPES AND LITE PATTERNS
9.	SUPERINTENDENT SHALL VERIFY THE NUMBER OF STEPS REQUIRED TO REACH GRADE OR SIDEWALK AS WELL AS ANY REQUIRED HANDRAILS OR GUARDRAILS PER CODE. VERIFY STYLE AGAINST ANY NEIGHBORHOOD COVENANTS/BY-LAWS
10.	SUBCONTRACTOR(S) SHALL PROVIDE WATER, ELECTRICAL AND/OR GAS SERVICE FOR MECHANICAL EQUIPMENT AND KITCHEN/UTILITY APPLIANCES AS REQ'D (e.g. HVAC UNIT, WATER HEATER, DISHWASHER, RANGE, REFRIGERATOR, WASHER, DRYER, ETC..)
11.	BUILDER SHALL COORDINATE WITH LOW VOLTAGE SUBCONTRACTOR AND OWNER FOR LOCATIONS OF ALL T.V., TELEPHONE NETWORK, ALARM COMPONENTS AND KEYPAD LOCATIONS.
12.	REFERENCE LARGE SCALE DRAWINGS ON SHEETS A1.1, A1.2 & A1.3 FOR ADDITIONAL DIMENSIONS AND NOTES FOR: KITCHEN, OWNER'S BATH, LAUNDRY, MUD ROOM, BATH #2, BATH #3, BATH #4 AND STAIRS

AREA CALCULATIONS	
CABANA	220 SF
	220 SF
GRAND TOTAL	220 SF



① FIRST FLOOR PLAN
1/2" = 1'-0"



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NO.	DESCRIPTION	DATE

SHEET A4
FLOOR PLANS

- ROOF PLAN NOTES
1.

ROOF SYSTEM SHALL BE COMPOSITION SHINGLES OVER UNDERLAYMENT ON SPEC'D ROOF DECKING - U.N.O.
2.

PROVIDE DRIP EDGE FLASHING AT ALL ROOF EDGES.
3.

PROVIDE ICE DAM UNDERLAYMENT WHERE REQ'D BY CODE.
4.

BUILDER SHALL PROVIDE ROOF VENTILATION SYSTEM AS REQ'D BY CODE AND IN COMPLIANCE WITH NEIGHBORHOOD ASSOCIATION RULES/COVENANTS.
5.

PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS DISCHARGING AT GRADE.
6.

ALL ROOF SADDLES/CRICKETS SHALL BE PLYWOOD SHEATHED WITH BUILDING PAPER AND SHINGLES.
7.

FIREPLACE FLUE SHALL BE MIN. 2'-0" ABOVE ANY ROOF SURFACE WITHIN 10'-0" HORIZONTALLY, MIN. 3'-0" PENETRATION ABOVE ROOF.
8.

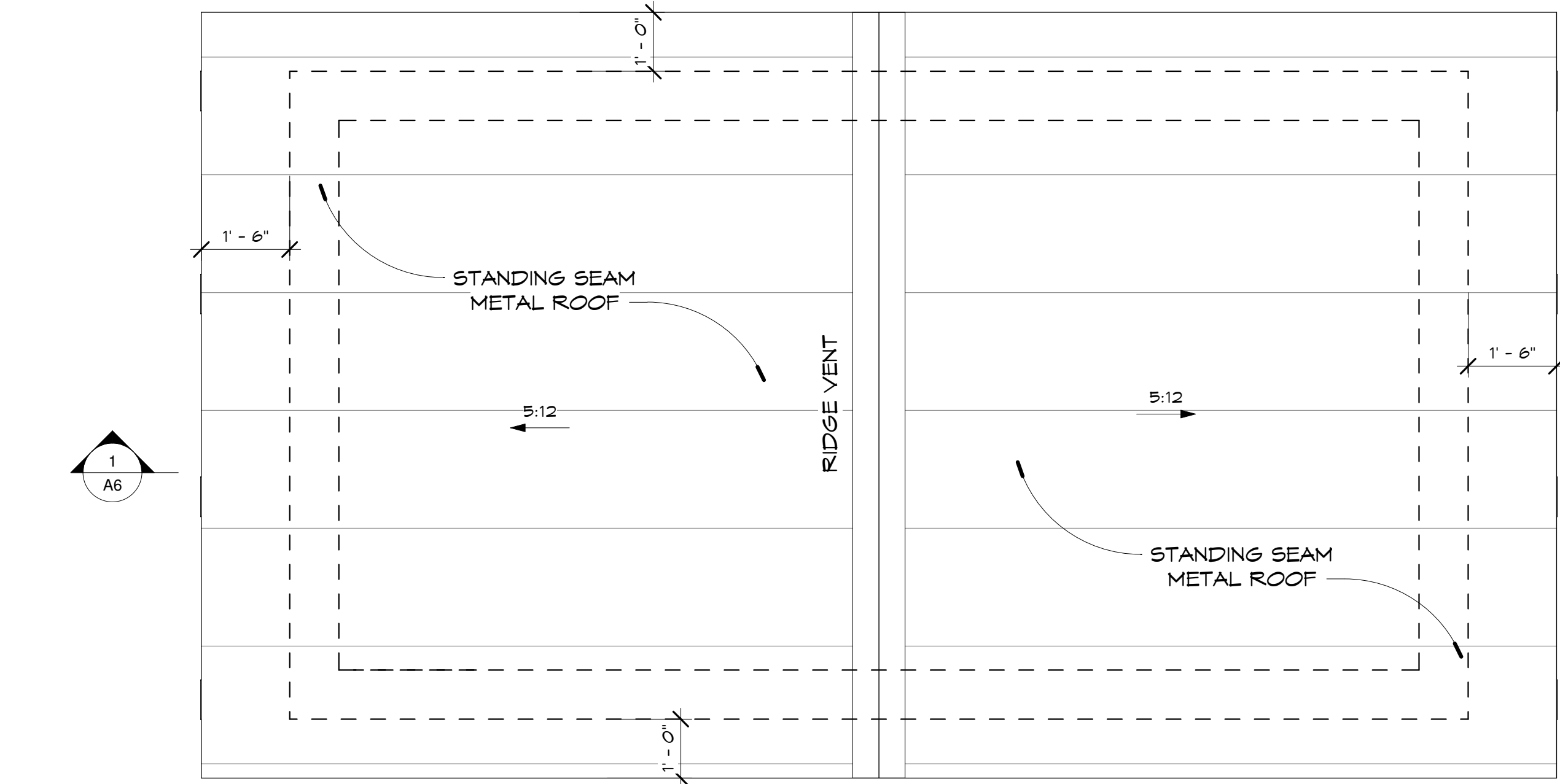
CONTINUOUS RIDGE VENTS SHALL BE BAFFLED TO PREVENT BACKFLOW.
9.

PROVIDE METAL FLASHING AT ALL ROOF TO WALL CONDITIONS - TYPICAL.
10.

ACCENT ALUMINUM CORNERS TYPICAL UNLESS OTHERWISE NOTED.
11.

SUBCONTRACTOR(S) SHALL COORDINATE THE LOCATION OF ALL PLUMBING/MECHANICAL VENTS, ATTIC BOX VENTS AND CHIMNEY PENETRATIONS ON REAR FACING SLOPE OF ROOF.
12.

STRUCTURAL COMPONENTS (HIP & VALLEY RAFTERS, RIDGE BOARDS) SHALL BE DESIGNED/SPEC'D BY LUMBER ENGINEER



1 ROOF PLAN
1/2" = 1'-0"



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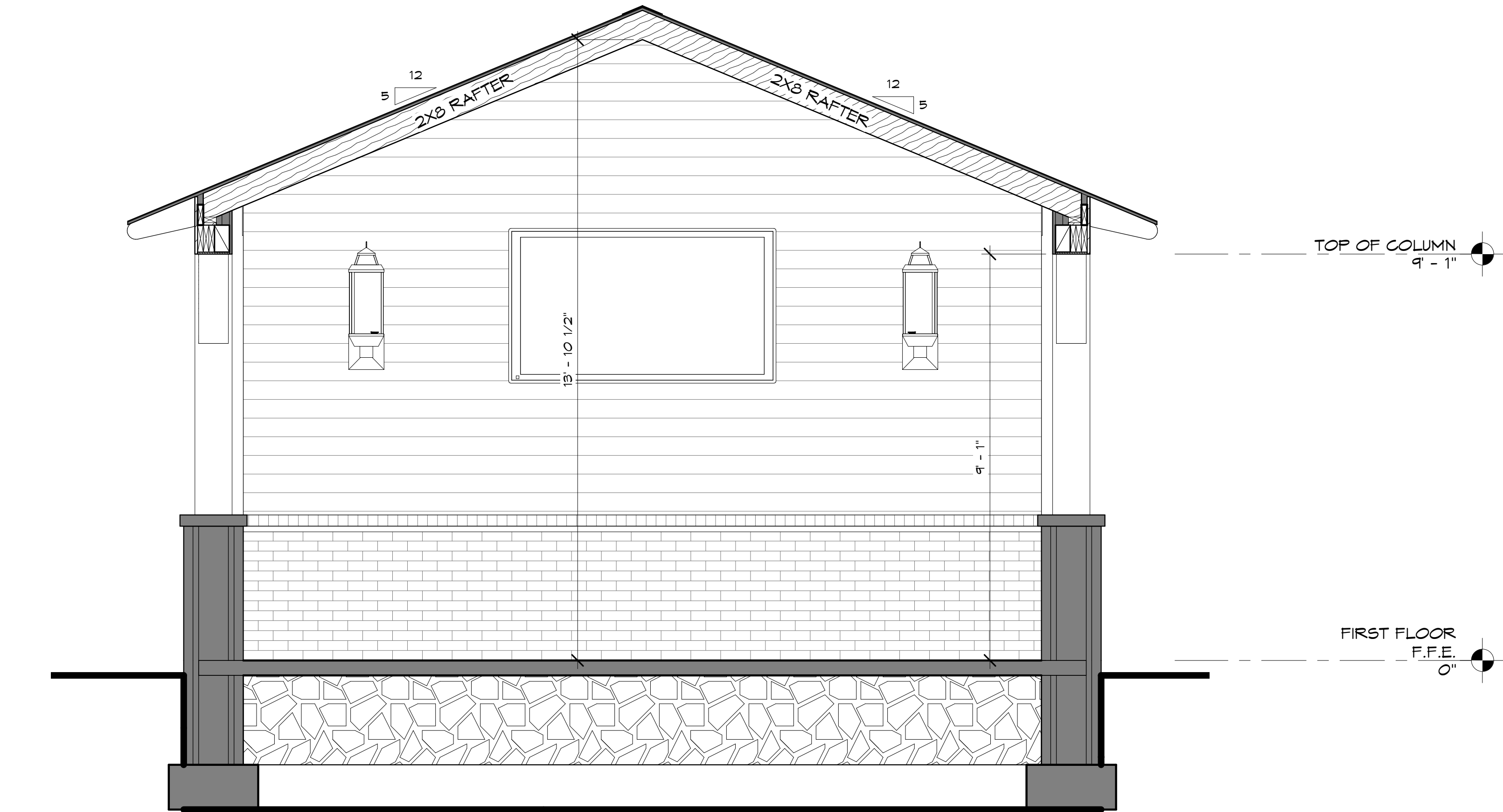
9401 WEYMOUTH RD.
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MT- ###	HT- ###

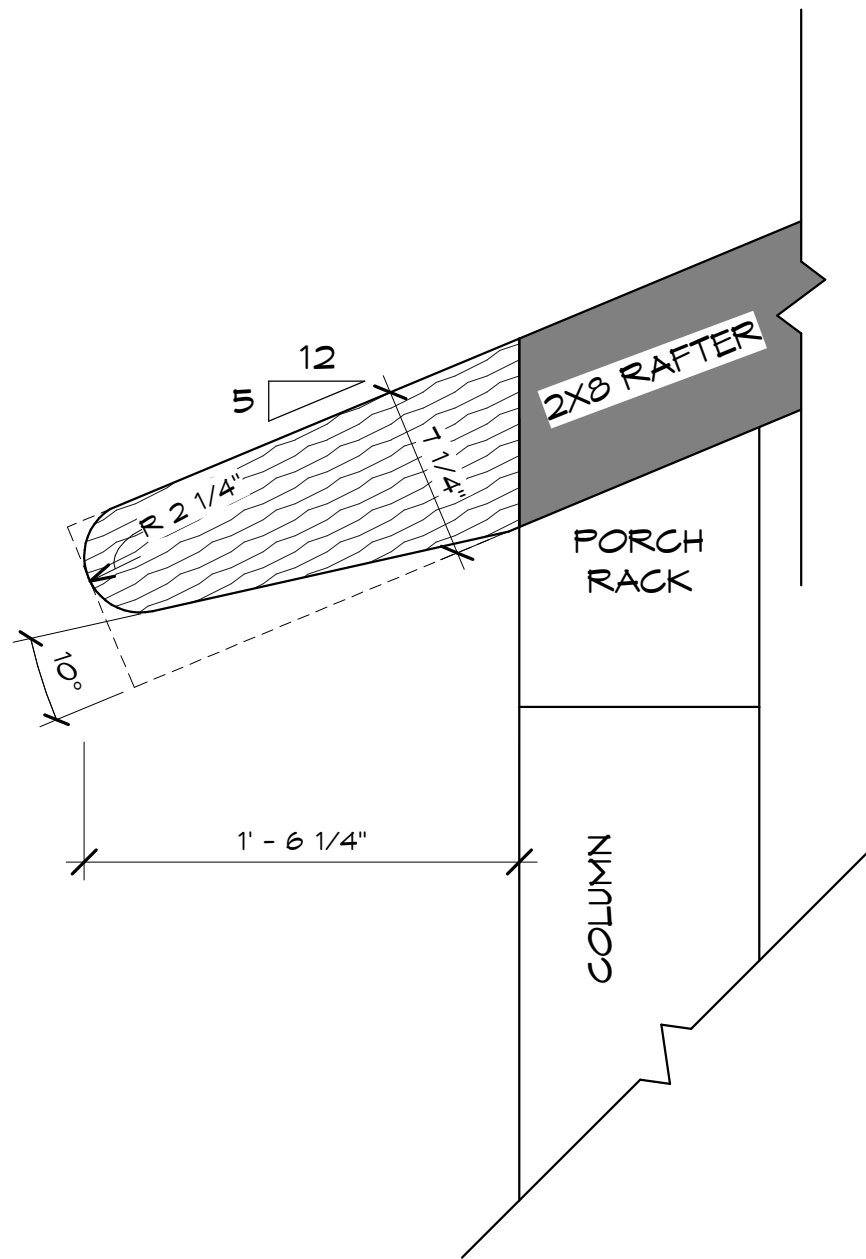
PROJECT NO.	PROJECT #
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NO.	DESCRIPTION	DATE

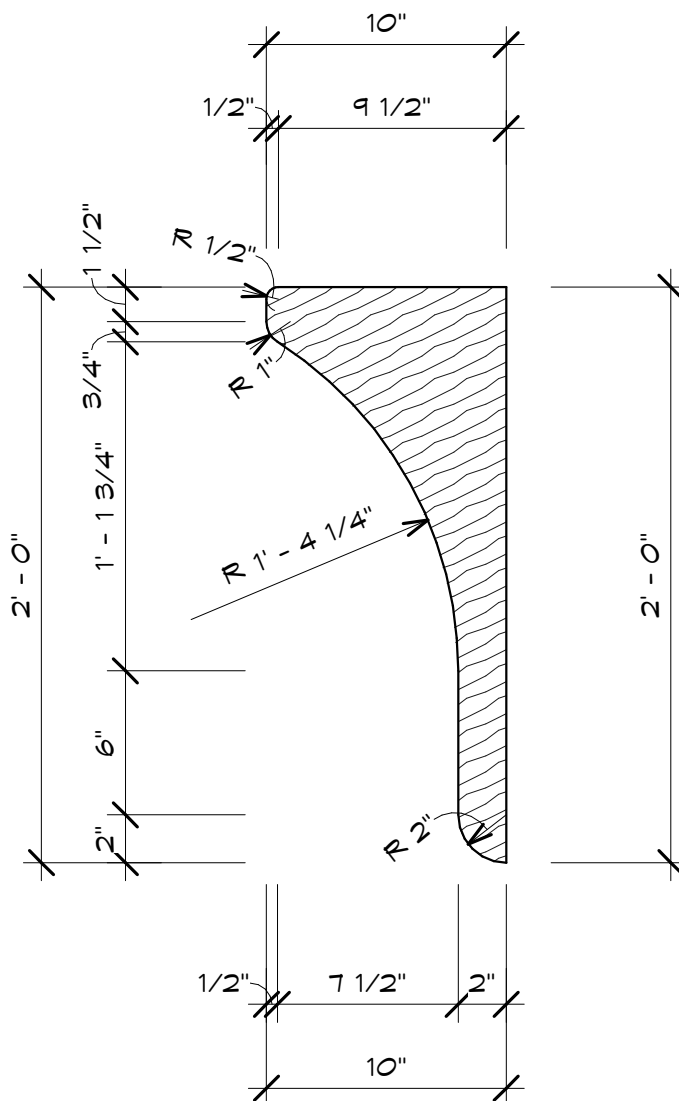
SHEET
A5
ROOF PLAN



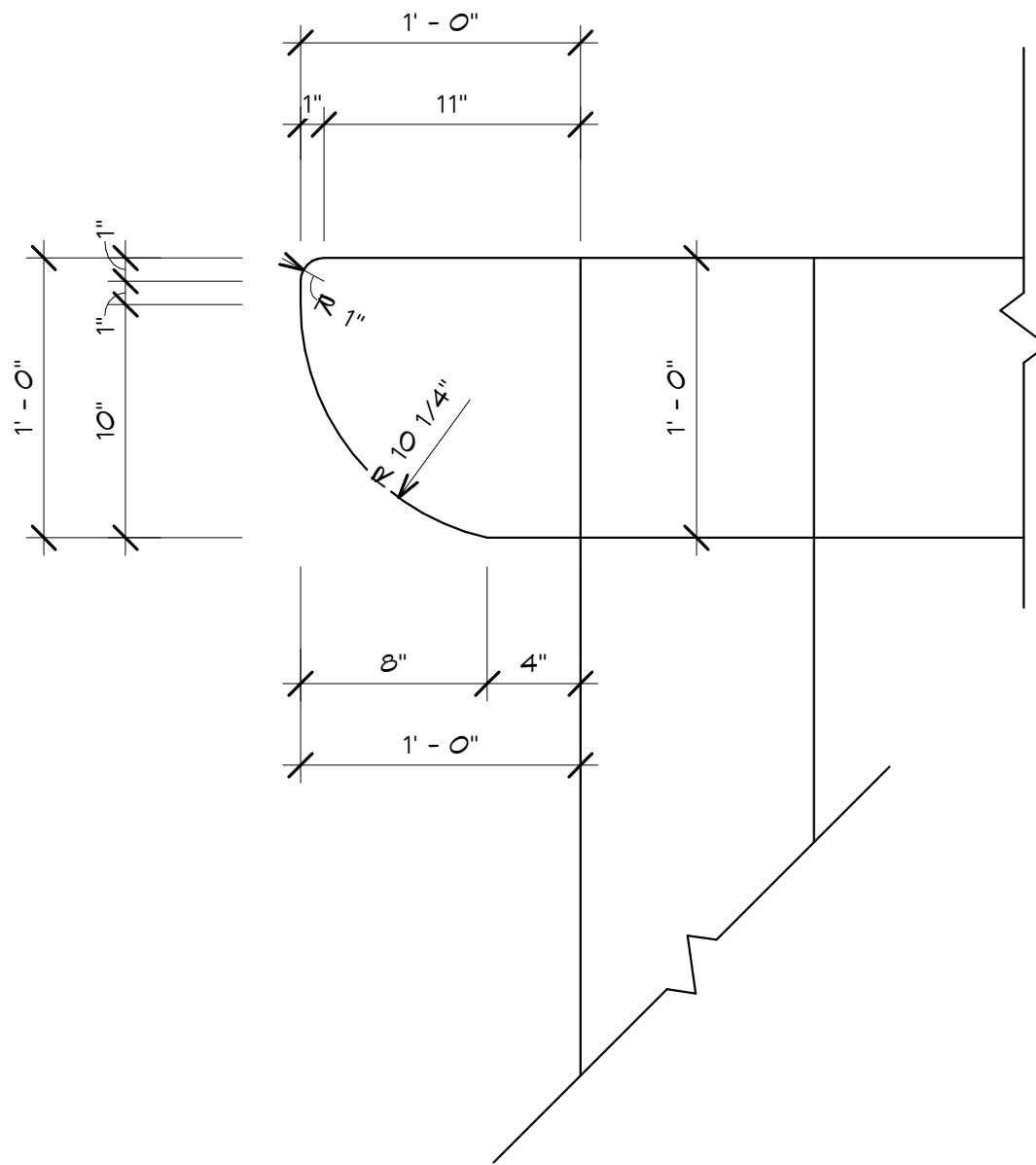
1 BUILDING SECTION 1
1/2" = 1'-0"



2 RAFTER END DETAIL
1 1/2" = 1'-0"



3 COLUMN BRACKET DETAIL
1 1/2" = 1'-0"



4 PORCH RACK END DETAIL
1 1/2" = 1'-0"



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NO.	DESCRIPTION	DATE

SHEET
A6
BUILDING SECTIONS



